

Building Permit Checklist for Basement Remodel

All Construction must be in accordance with the 2018 International Codes and the amendments adopted by Johnson County on March 12, 2020, Johnson County Code of Regulations for Buildings & Construction 2018 Edition. A permit is required to finish or remodel a basement that involves construction of walls or installation or extension of electrical circuits, plumbing drains or vents, or ductwork.

Repair and maintenance work, such as, carpeting, painting, wallpaper, receptacle replacement, fixture replacement (sinks, stools, lighting fixtures), vanities and cabinetry do not require a permit.

Planning Your Basement Remodeling Project

- a. The furnace and water heater must be provided with access that would allow the equipment to be replaced, or to be serviced. The manufacturer's instructions will include required clearances on all sides of the equipment, and other important details that may impact how much space must be maintained around the equipment. Do not plan to build walls that will reduce this required space.
- b. Many components of a house require access for servicing and replacement. Your plans should take into account that this access will be provided. The main water shutoff, the drain valve, and the electrical grounding connection to the water line must remain accessible. All electric junction boxes, floor drains, cleanout fittings, backwater valves, gas line unions, and valves for water and gas lines are required to remain accessible.
- c. Electric panels are not allowed within closets or bathrooms. A required working clearance of at least 30" wide and 36' deep in front of the panels must be provided. The panels should remain accessible so that the cover can be removed and accessed for future wiring needs or repair and maintenance.
- d. Plumbing fixture drain lines are required to be sloped not less than ¼ inch per foot for 2 1/2 inch or less drain lines, and not less than 1/8 inch per foot for 3 inch and larger drain lines. Be sure to consider the distance your drain lines must travel, and the elevation of the drain line you want to tie into, when planning the location of your plumbing fixtures.

EMERGENCY ESCAPE AND EGRESS OPENINGS – (2018 IRC R310)

Basements, habitable attics and every sleeping room shall have not less than one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, an emergency escape and rescue opening shall be required in each sleeping room. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way. Emergency and escape rescue openings shall have a net clear opening of not less than 5.7 square feet (0.530 m²). The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height of the opening shall be not less than 24 inches (610 mm) and the net clear width shall be not less than 20 inches (508 mm).

Exception: Grade floor openings or below-grade openings shall have a net clear opening area of not less than 5 square feet (0.465 m²). Where a window is provided as the emergency escape and rescue opening, it shall have a sill height of not more than 44 inches (1118 mm) above the floor; where the sill height is below grade, it shall be provided with a window well in accordance with Section R310.2.3. Emergency escape and rescue openings installed under decks and porches shall be fully openable and provide a path not less than 36 inches (914 mm) in height to a yard or court.

Stairways – The rise and run requirements for stairways has changed over the years. Many stairs of older homes were constructed with a treads and risers that do not meet current codes. Newer homes are constructed to a 7-3/4 riser and 10-inch run standard. The basic rise and run do not have to be upgraded to meet current code requirements as part of the basement finish for older homes. Floor covering materials should be carefully considered because the maximum variation from between the highest and lowest riser is 3/8 inch. Adding a finish material more than 3/8 inch in thickness to the floor in front of the stairs might reduce the height of the first riser too much and create a code violation. Open risers are not permitted. As part of the basement finish any existing open risers shall be blocked solid. Where possible the blocking shall be installed to provide a ¾ inch nosing for each tread.

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Building Codes

All stairways shall have a minimum clear width of 36 inches at all points above the handrail height, and below the required headroom height (6' – 8" measured vertically from the sloped plane adjoining the tread nosings, and floor surfaces of landings and platforms). The minimum clear width of the stairway at or below the handrails is 31-1/2 inches.

Handrail – A handrail shall be provided on at least one side of each stairway that consists of 4 or more risers between landings. Handrails shall be continuous along each flight of stairs (from landing to landing) from the top riser to the bottom riser. Handrails shall be placed between 34 and 38 inches above the nosing of steps and provide a graspable surface. The handrail shall have a circular cross-section with an outside diameter between 1-1/4 and 2 inches with a circumference of between 4 and 6-1/4 inches and a cross section of not more than 2-1/4". The space between the handrail and wall shall be not less than 1-1/2 inches.

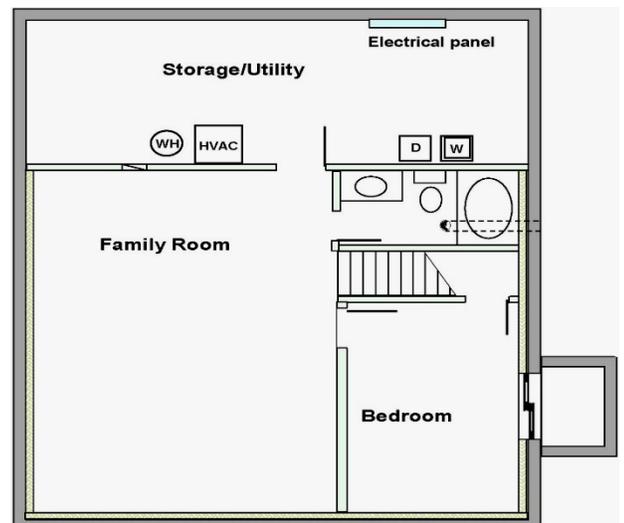
Guards – Where the height of any riser on the open side of a stair or landing is more than 30 inches above the floor guardrails are required to prevent falling off of the stairs. Guards shall be not less than 34 inches in height measured at the nosing of treads. The guardrail shall have intermediate railings below the guardrail spaced so a sphere greater than 4 inches in diameter cannot pass through at any point.

Exceptions:

- 1- The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
- 2- Guards on the open side of stairs shall not have openings that allow passage of a sphere 4 3/8 inches (111 mm) in diameter.

Making Application

1. View Instruction Guide on how to create a user account for [MyGovernmentOnline](https://jocogov.org/sites/default/files/documents/BLD/MyGovernmentOnlineCustomerPortalInstructions.pdf)
<https://jocogov.org/sites/default/files/documents/BLD/MyGovernmentOnlineCustomerPortalInstructions.pdf>
2. Make application through MyGovernmentOnline and upload all required documents.
 - a. Required documents:
 - i. Completed Building Permit Application form.
 - ii. Sewer or Septic permit if applicable, septic location verification, if existing septic system
 - iii. Entrance permit if applicable
 - iv. Submit a floor plan. The sample floor plan shown has been provided showing the minimum information necessary on the plans. Plans shall be drawn to a scale (1/4-inch or 1/8-inch equals 1-foot is preferred). On the submitted floor plan please verify:
 1. Egress window or door
 2. Smoke detectors
 3. Combustion air requirements for gas fired appliances location and size of opening for combustion air
 4. Maintaining 1" clearance for non-bearing walls to floor system above
 5. Arc fault required for new bedrooms
 - i. Homeowner Installation form, notarized, if the homeowner will perform the work.
 - ii. If a bedroom is part of the remodel, please contact Johnson County Environmental to make sure your septic is adequate. We will need to receive a copy of their report to issued.
 - iii. All sub-contractor forms, completed by a licensee or permittee for electrical, framing, mechanical, or plumbing.
 - iv. Completed Energy Code Compliance Checklist.



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